

RESOLUTION NO. R-2020-86

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BASTROP, TEXAS, APPROVING AN INTERLOCAL AGREEMENT WITH BASTROP COUNTY TO ALLOW THE CONSTRUCTION OF A NEW MONOPOLE COMMUNICATION TOWER, WITH A MODIFIED DEVELOPMENT PROCESS APPROVED BY THE ZONING BOARD OF ADJUSTMENT FOR A NON-CONFORMING STRUCTURE, AS ATTACHED IN EXHIBIT A; AUTHORIZING THE CITY MANAGER TO EXECUTE ALL NECESSARY DOCUMENTS FOR THE AGREEMENT; PROVIDING FOR A REPEALING CLAUSE; AND ESTABLISHING AN EFFECTIVE DATE.

WHEREAS, Bastrop County ("Developer"), desires to make certain private improvements on a 10.223 acre parcel in Bastrop Town Tract, A11 more particularly described on Exhibit "A" ("Property"), owned by Kent Broussard Tower Rentals, Inc. ("Owner"); and

WHEREAS, the Developer has requested the City of Bastrop, a Home Rule Municipality of Bastrop County, Texas, ("City"), to allow the Expansion of a Non-Conforming Structure; and

WHEREAS, the standard development process would require establishing a Neighborhood Regulating Plan, providing public improvements through the Preliminary and Final Plat process; submitting a Site Development Plan and Building Permits; and

WHEREAS, City staff has recommended certain modifications to the standard development approval process and standards, provided that any future development on any of the site will trigger full compliance with the adopted ordinance at the time of development; and

WHEREAS, this Agreement, which states the purpose, terms, rights, and duties of the contracting parties, is entered into by parties, two of which are local governments, regarding governmental functions and services, for which each contracting party is paying for performance under this Agreement from current revenues available to the paying party, in accordance with Texas Government Code Chapter 791.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BASTROP, TEXAS:

Section 1: That an Interlocal Agreement has been approved as shown in Exhibit A.

Section 2: That the City Manager is authorized to execute all necessary documents for the agreement.

Section 3: All orders, ordinances, and resolutions, or parts thereof, which are in conflict or inconsistent with any provision of this Resolution are hereby repealed to the extent of such conflict, and the provisions of this Resolution shall be and remain controlling as to the matters resolved herein.

Section 4: This resolution shall take effect immediately from and after its passage, and it is duly resolved.


DULY RESOLVED AND ADOPTED by the City Council of the City of Bastrop this 8th day of September, 2020.

APPROVED:



Connie B. Schroeder, Mayor

ATTEST:



Ann Franklin, City Secretary

APPROVED AS TO FORM:



Alan Bojorquez, City Attorney

of the right-of-way along the north property line to the City for the future development of the extension of Cedar Street.

- 1.3. **Site Development Plan.** The Developer and Owner agree to submit to the City a Site Development Plan with full review City review fees. The Site Development Plan will be in compliance with all standards of the Bastrop Building Block (B³) Code, except the Public Frontage Plan.
- 1.4. **Building Permits.** The Developer and Owner agree to apply to the City for Building Permits. All plans will be in compliance with the International Building Codes most recently adopted by the City.
- 1.5. **Expiration of Approval.** The Developer agrees that the communication tower must be removed prior to August 5, 2025 or come back to the Zoning Board of Adjustment for extension of the approval.
- 1.6. **Removal Upon Discontinuance.** The Developer agrees to removal the monopole and related equipment upon the discontinued use of the tower by Bastrop County.
2. **Future Development of any of the Site.** The parties agree that any future development of the Property beyond the plans made the subject to of this Agreement (see Exhibit "C") will be in compliance with all of the then-current City Code of Ordinances at the time of application for permits.
3. **Execution in Counterparts.** This Agreement may be executed in any number of counterparts, each of which shall be deemed to be an original, and all of such counterparts shall constitute one Agreement. To facilitate execution of this Agreement, the parties may execute and exchange by PDF electronic email counterparts of the signature pages.
4. **Governing Law & Venue.** This Agreement shall, in all respects, be governed, construed, applied, and enforced in accordance with the laws of the State of Texas. Venue for any disputes arising under this Agreement shall be exclusively in Bastrop County.
5. **Binding Effect.** This Agreement shall be binding upon and inure to the benefit of the, successors, assigns of the parties.
6. **Captions.** All captions, headings, paragraph and subparagraph numbers and letters are solely for reference purposes and shall not affect the other provisions hereof, and this Agreement shall be construed in all respects as if such invalid or unenforceable provision were omitted.
7. **Severability.** The invalidity or unenforceability of a particular provision of this Agreement shall not affect the other provisions hereof, and this Agreement shall be construed in all respects as if such invalid or unenforceable provision were omitted.
8. **Entire Agreement.** This Agreement constitutes the sole and entire understanding of the

8. **Entire Agreement.** This Agreement constitutes the sole and entire understanding of the parties.

9. **Effective Date.** This Agreement shall become effective upon execution by all parties.

10. **Expiration.** This Agreement, and all terms and conditions provided herein, shall expire if the project is not completed within one (1) year of the Effective Date.

IN WITNESS WHEREOF, the undersigned have duly executed and delivered this Agreement as of the day and year first set forth above.

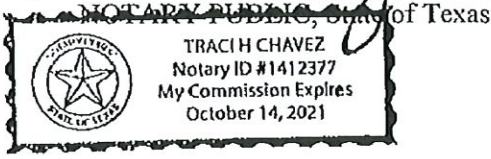
CITY OF BASTROP:

by: *Paul A. Hofmann*
Paul A. Hofmann, City Manager

THE STATE OF TEXAS §
COUNTY OF BASTROP §

This instrument was acknowledged before me on the 15TH day of September, 2020, by Paul Hofmann, City Manager of the City of Bastrop, a Texas municipal corporation, on behalf of said city.

Traci X Chavez



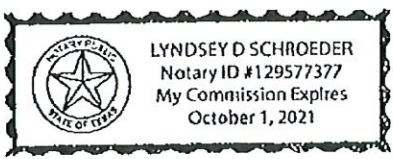
BASTROP COUNTY:

by: *Paul Pape*
Paul Pape, County Judge

THE STATE OF TEXAS §
COUNTY OF BASTROP §

This instrument was acknowledged before me on the 15TH day of September, 2020, by Paul Pape, Judge of the County of Bastrop, a Texas county, on behalf of said county.

Lyndsey D Schroeder
NOTARY PUBLIC, State of Texas

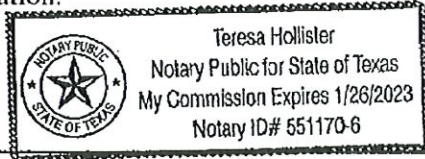


KENT BROUSSARD TOWER RENTALS, INC:

by: *Kent Broussard*
Representative

THE STATE OF TEXAS §
COUNTY OF ~~BASTROP~~ §

This instrument was acknowledged before me on the 23rd day of September, 2020, by *Kent Broussard* of Kent Broussard Tower Rentals, Inc, a Texas corporation, on behalf of said corporation.

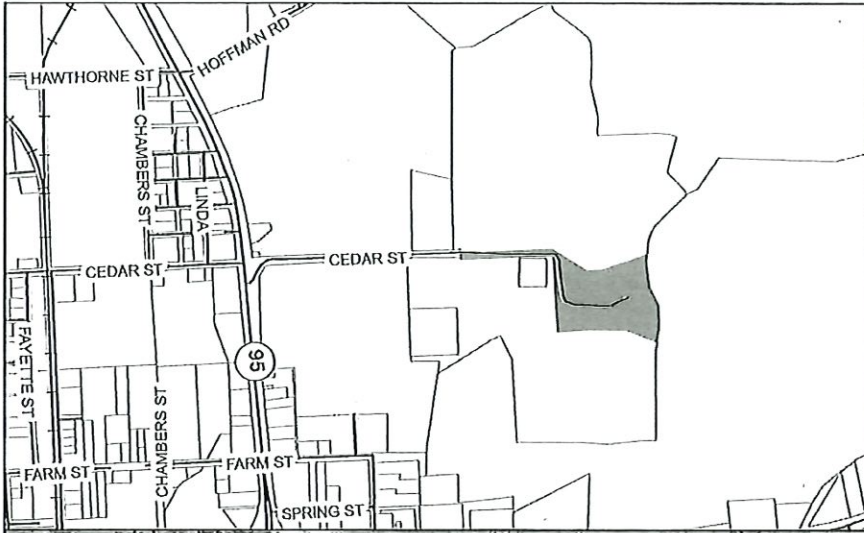


Teresa Hollister
NOTARY PUBLIC, State of Texas

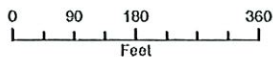
- Exhibits:
- A: Description of Property
 - B: ZBA Minutes (August 5, 2020)
 - C: Plans for the Tower project

Distribution of Originals: Developer
 Owner
 City Secretary
 Planning and Development Department

Exhibit A Location Map



Bastrop County/Broussard Tower 2575 Cedar Street Expansion of a Non-Conforming Structure



1 inch = 270 feet



Date: 7/23/2020

The accuracy and precision of this cartographic data is limited and should be used for information planning purposes only. This data does not replace surveys conducted by registered Texas land surveyors nor does it constitute an "official" verification of zoning, land use classification, or other classification set forth in local, state, or federal regulatory processes. The City of Bastrop, nor any of its employees, do not make any warranty of merchantability and fitness for particular purpose, or assumes any legal liability or responsibility for the accuracy, completeness or usefulness of any such information, nor does it represent that its use would not infringe upon privately owned rights.

EXHIBIT B

Zoning Board of Adjustments
August 5, 2020 Meeting Minutes

- 3B. Public Hearing and consider action for the expansion of a Non-Conforming Site to add a 100-foot monopole communication tower at the same site of an existing 450-foot radio tower with adjacent equipment buildings, on 10.223 acres of Bastrop Town Tract A11, located at 2575 Cedar Street, within the City Limits of the City of Bastrop, Texas.

Jennifer Bills presented the information distributed in the Zoning Board of Adjustment Agenda Packet. She discussed the history of the site and the previous cell towers at that location.

Jennifer Bills discussed with the Board the notifications City Staff had sent out for the public hearing, and that a letter received from one of the surrounding property owners. Jennifer Bills stated Staff was recommending approval of the tower with the following conditions:

1. Applicant would Execute a Development Agreement with the City for the following:
2. Any future development beyond the scope approved by the Zoning Board of Adjustment will come into compliance with all Bastrop Building Block (B³) in effect at time of development.
3. Dedication of half (27.78 feet) of the right-of-way for Cedar Street along the northern property line.
4. The development process will be limited to the following with full review fees paid: Minor Plat with the right-of way dedication; Site Development Plan; and Building Permits.

The letter from the property owner at 2101 Cedar Street, Kristine Dugan, was read aloud for the record.

The Board discussed the purpose for the tower, which is to improve 911 communications.

Patrick Connell opened the Public Hearing.

The property owner at 2101 Cedar Street, Kristine Dugan, addressed the Board and further discussed her concerns that she listed in her letter. The Board asked if she would be more amenable to the proposed tower if there would be a condition put into place that ensured it would only be used for an emergency tower.

The property owner at 2101 Cedar Street, Matt Dugan, spoke before the Board stating he was not in favor of the cell tower being proposed to be placed on the tower.

Patrick Connell closed the Public Hearing.

Zoning Board of Adjustments August 5, 2020 Meeting Minutes

Discussion commenced between the Board and the Applicant (Steven Long). He answered questions for the Board including: the reason for the request is because the current tower is at max capacity, the proposed timeline (2-3 years) to get a new tower site that would be owned by the County so they could permanently move their equipment to their own site, the logistics for the monopole being proposed on the pre-existing tower site, the dedication of Right-Of-Way between the City and the Property Owner, and the removal of the proposed monopole from the property in the future.

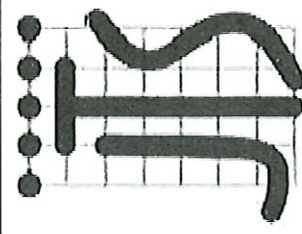
Further discussion commenced among the Board.

Scot Robichaud made a motion to recommend approval for the expansion of a Non-Conforming Site to add a 100-foot monopole communication tower at the same site of an existing 450-foot radio tower with adjacent equipment buildings, on 10.223 acres of Bastrop Town Tract A11, located at 2575 Cedar Street, within the City Limits of the City of Bastrop, Texas with the following requirements:

1. Any future development beyond the scope approved by the Zoning Board of Adjustment will come into compliance with all Bastrop Building Block (B³) Code Requirements in effect at time of development,
2. The property owner will be required to dedicate half (27.78 feet) of the right-of-way for Cedar Street along the northern property line,
3. The development process will be limited to the following with full review fees paid: Minor Plat with the right-of way dedication; Site Development Plan; and Building Permits,
4. There will be no more than two dishes with supporting infrastructure allowed to be placed on the monopole,
5. The applicant is allowed to use this location for the monopole for five years starting on August 5, 2020, if the monopole is still operational in five years the applicant will need to come back before the Zoning Board of Adjustments to obtain approval for a continuance of use of the monopole at that location; and
6. The Applicant must have the monopole to completely removed from the site if they relocate their emergency communication to a new site prior to the five-year timeline set forth by the Zoning Board of Adjustments.

Gary Moss seconded the motion and the motion carried unanimously.

EXHIBIT C



JTS NEW SITE BUILD

JTS SITE NAME: BASTROP

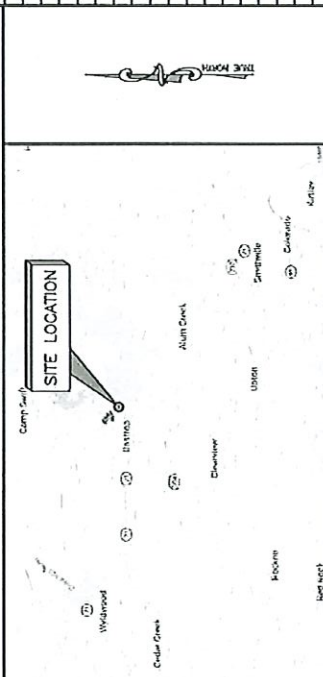
SITE ADDRESS:

ER11 ADDRESS TO BE PROVIDED
BASTROP, AR 78612
BASTROP COUNTY

SITE INFORMATION

JTS SITE NAME: BASTROP
SITE ADDRESS: ER11 ADDRESS TO BE PROVIDED
BASTROP, AR 78612
LATITUDE (NAD83): 30.116307 (N 30° 6' 58.6784")
LONGITUDE (NAD83): -97.230667 (W 97° 17' 54.2594")
GROUND ELEVATION: 492' (AUSL)
JURISDICTION CONTACT: UNK. COUNTY
UNK. CONTACT NAME:
PHONE: NOT PROVIDED
ZONING: NOT PROVIDED
TOWER OWNER: JTS
5310 S. COCKRELL HILL ROAD
ARLINGTON, TX 76010
CONTACT NOT PROVIDED
PHONE: (872) 620-1435 EXT. 170
STRUCTURE TYPE: MONOPOLE TOWER
STRUCTURE HEIGHT: 100 -40' (AGL)
POWER SUPPLIER: POWER COMPANY:
ENTERGY
PHONE NOT PROVIDED
TELCO PROVIDER: TELCO COMPANY:
NOT PROVIDED
PHONE NOT PROVIDED

VICINITY MAP



DIRECTIONS

FROM AUSTIN, TEXAS:
GET ON I-35 E HEAD EAST ON E 5TH ST TOWARD BRAZOS ST TURN RIGHT ONTO S IH 35 FRONTAGE RD USE THE LEFT LANE TO TAKE THE RAMP ONTO I-235 TAKE TX-71 E TO CEDAR ST IN BASTROP MERGE ONTO I-235 S USE THE 2ND FROM THE RIGHT LANE TO TAKE EXIT 230 FOR TX-71 TOWARD US 200 W/BASTROP/JOHNSON CITY/AIRPORT MAY BE CLOSED AT CERTAIN TIMES OR DAYS KEEP LEFT AT THE FORK FOLLOW SIGNS FOR TEXAS 71 E/BASTROP AND MERGE ONTO TX-71 E PARTS OF THIS ROAD MAY BE CLOSED AT CERTAIN TIMES OR DAYS CONTINUE STRAIGHT TO STAN TERRY BLVD LEFT ON STAN TERRY BLVD TO TURN LEFT ONTO STATE HWY 95 N/JACKSON ST CONTINUE TO FOLLOW STATE HWY 95 N DRIVE TO YOUR DESTINATION TURN RIGHT ONTO CEDAR ST SLIGHT RIGHT BASTROP TEXAS 78602.

PROJECT TEAM

APPLICANT: EASTEX TOWER, LLC
3537 GUM SPRINGS ROAD
BIRMINGHAM, AL 35244
CONTACT: KEITH MATTHEW
PHONE: (205) 932-6503
AGE FIRM: RWL ENGINEERING GROUP, INC.
1127 BUSINESS CENTER DRIVE
BIRMINGHAM, AL 35244
PHONE: (205) 252-0985
ENGINEER: URSWAK D. SWARTZ, PE
158 BUSINESS CENTER DRIVE
BIRMINGHAM, AL 35244
PHONE: (205) 252-0985

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL JURISDICTION. THIS PROJECT WORK SHALL BE CONFINED TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES:

- INTERNATIONAL BUILDING CODE
- INTERNATIONAL RESIDENTIAL CODE
- INTERNATIONAL ENERGY CONSERVATION CODE
- INTERNATIONAL ELECTRICAL CODE
- INTERNATIONAL FUEL GAS CODE
- INTERNATIONAL MECHANICAL CODE
- INTERNATIONAL PLUMBING CODE

SCOPE OF WORK

THIS PROJECT CONSISTS OF:

- INSTALLATION OF UTILITIES TO SITE (IF REQUIRED)
- INSTALLATION NEW 100' MONOPOLE TOWER
- RE-USE EXISTING EQUIPMENT SHELTER

DRAWING INDEX		TITLE SHEET & PROJECT INFORMATION	
T-1	GENERAL NOTES	TITLE SHEET & PROJECT INFORMATION	
GN-1	EXISTING OVERALL SITE PLAN		
GN-2	PROPOSED OVERALL SITE PLAN		
C-1	TOWER ELEVATION		
C-2	ICE BRIDGE DETAILS		
C-3	PROPOSED COMPOUND GROUNDING PLAN		
C-4	GROUNDING DETAILS		
C-5	GROUNDING DETAILS		

DATE	09/18/20	DESCRIPTION:	ISSUED FOR CURB REVIEW
DATE		DESCRIPTION:	
DATE		DESCRIPTION:	

REVISIONS:	REVISIONS:
BY:	BY:
DATE:	DATE:

PROJECT INFORMATION	
TITLE SHEET &	BASTROP
PROJECT INFORMATION	

DESIGNED BY:	JCS
CHECKED BY:	JCS
DATE:	08/20/20
PROJECT NO.:	10260
SHEET NO.:	T-1
TOTAL SHEETS:	0

THESE DRAWINGS ARE SCALED TO FULL SIZE AT 11"x17" AND HALF SIZE AT 8-1/2"x11". CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE DESIGNER / ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE BEING RESPONSIBLE FOR THE SAME.

DRAWING SCALE

CA#: AR 1935

HANDICAP REQUIREMENTS

FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAP ACCESS IS NOT REQUIRED.

PRELIMINARY DRAWING

(NOT VALID UNLESS STAMPED AND SIGNED)

ARIZONA ONE-CALL STATE WIDE CALL: 811 CALL BEFORE YOU DIG



DATE	04/10/20
DESCRIPTION	ISSUED FOR CLUDT REVIEW
DSR	DU

DATE	04/10/20
DESCRIPTION	ISSUED FOR CLUDT REVIEW
DSR	DU

GENERAL NOTES

REVISION	RB11
DRAWN BY	JCS
CHECKED BY	JCS
DATE	04/10/20
PROJECT NO.	GN-1 0

- X - FENCE
- --- - CONTOUR LINE
- --- - PROPERTY LINE/ROW
- --- - LEASE AREA
- --- - EASEMENT
- [Symbol] - DISCONNECT SWITCH
- [Symbol] - METER
- [Symbol] - CIRCUIT BREAKER
- [Symbol] - CODED NOTE NUMBER
- [Symbol] - CHEMICAL GROUND ROD
- [Symbol] - GROUND ROD
- [Symbol] - GROUND ROD W/ INSPECTION SLEEVE
- [Symbol] - EXOTHERMIC CONNECTION
- [Symbol] - MECHANICAL CONNECTION
- [Symbol] - COMPRESSION CONNECTION
- [Symbol] - GROUND BAR
- [Symbol] - GROUND WIRE

EXCAVATION & GRADING NOTES

1. ALL CUT & FILL SLOPES SHALL BE 2:1 MAXIMUM (UNLESS NOTED ON GRADING PLAN)
2. ALL EXCAVATIONS ON WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE FROM LOOSE MATERIAL AND EXCESS GROUND WATER DRAINING FOR EXCESS GROUND WATER SHALL BE PROVIDED IF REQUIRED.
3. CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC MATERIAL. IF SOUND SOIL IS NOT REACHED AT THE DESIGNATED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE REMOVED AND THE EXCAVATION SHALL BE FILLED WITH CONCRETE OF THE SAME QUALITY GRANULAR MATERIAL FOR THE EXCAVATION.
4. ANY EXCAVATION OVER THE REQUIRED DEPTH SHALL BE FILLED WITH EITHER MECHANICALLY COMPACTED GRANULAR MATERIAL OF CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. STONE IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS.
5. AFTER COMPLETION OF THE FOUNDATION AND OTHER CONSTRUCTION BELOW GRADE, AND BEFORE BACK FILLING, ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS AND SO FORTH.
6. BACK FILL SHALL BE:
 - APPROVED MATERIALS CONSISTING OF EARTH, LOAM, SAND, CLAY SAND, GRAVEL OR SOFT SHALL
 - FREE FROM CLODS OR STONES OVER 2" MAXIMUM DIMENSIONS.
 - IN LAYERS AND COMPACTED
7. SITE FILL MATERIAL AND FOUNDATION BACK FILL SHALL BE PLACED IN LAYERS, MAXIMUM 6" DEEP BEFORE COMPACTION. EACH LAYER SHALL BE SPRINKLED IF REQUIRED AND COMPACTED BY HAND OPERATED OR MACHINE DRIVEN TO BRAT AT REGULAR INTERVALS. UNLESS OTHERWISE APPROVED, SUCH BACK FILL SHALL NOT BE PLACED BEFORE 3 DAYS AFTER PLACEMENT OF CONCRETE.
8. THE FOUNDATION AREA SHALL BE GRADED TO PROVIDE WATER RUNOFF AND PREVENT WATER FROM STANDING. THE FINAL GRADE SHALL SLOPE AWAY IN ALL DIRECTIONS FROM THE FOUNDATION AND SHALL THEN BE COVERED WITH 4" DEEP COMPACTED STONE OR GRAVEL.
9. CONTRACTOR SHALL PROVIDE ALL PERSON AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY LOCAL, COUNTY AND STATE CODES AND ORDINANCES TO PREVENT EMBANKMENTS FROM SOIL LOSS AND TO PREVENT ACCUMULATION OF SOIL AND SILT IN STREAMS AND DRAINAGE PATHS LEAVING THE CONSTRUCTION AREA. THIS MAY INCLUDE SUCH MEASURES AS SILT FENCES, STORM BALE SEDIMENT BARRIERS AND CHECK DAMS.
10. FILL PREPARATION:
 - REMOVE ALL VEGETATION, TOPSOIL, DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS.
 - DISTURBED SOIL OR FILL THROUGHOUT SLOPED SURFACE STEPS THAT VERTICAL TO THE HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING SURFACE WHEN SUBGRADE OR EXISTING GROUND SURFACE TO RECEIVE FILL HAS A DENSITY LESS THAN THAT REQUIRED FOR FILL BREAK UP GROUND SURFACE TO DEPTH REQUIRED. PULVERIZE
 - MOISTURE-CONDITION OR ADJASTE SOIL AND REIMPACT TO REQUIRED DENSITY.
11. REPLACE THE EXISTING WEARING SURFACE ON AREAS WHICH HAVE BEEN DAMAGED OR REMOVED DURING CONSTRUCTION OPERATIONS. SURFACE SHALL BE REPLACED TO MATCH EXISTING SURFACE FROM CORROGATIONS AND WAVES. EXISTING SURFACING MAY BE EXCAVATED SEPARATELY AND REUSED IF INJURIOUS AMOUNTS OF EARTH, ORGANIC MATERIAL, OF OTHER DELETERIOUS MATERIALS ARE REMOVED PRIOR TO REUSE. FURNISH ALL ADDITIONAL WEARING SURFACING MATERIAL AS REQUIRED. BEFORE SURFACING IS REPLACED, SUBGRADE SHALL BE GRADED TO CONFORM TO REQUIRED SUBGRADE ELEVATIONS, AND LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED. DEPRESSIONS IN THE SUBGRADE SHALL BE REPAIRED AND ALL MATERIAL SURFACING SHALL NOT BE USED FOR FILLING DEPRESSIONS IN THE SUBGRADE.
12. PROTECT EXISTING SURFACING AND SUBGRADE IN AREAS WHERE EQUIPMENT LOADS WILL BE APPLIED. REPAIR DAMAGE TO EXISTING GRAVEL SURFACING OR SUBGRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTOR'S OPERATIONS. DAMAGED GRAVEL SURFACING SHALL BE RESTORED TO MATCH THE ADJACENT UNDAUNAGED GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS.
13. DAMAGE TO EXISTING STRUCTURES AND UTILITIES RESULTING FROM CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED / REPLACED TO OWNER'S SATISFACTION AT CONTRACTOR'S EXPENSE.
14. CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH PROPERTY OWNER SO AS TO AVOID INTERRUPTIONS TO PROPERTY OWNER'S OPERATIONS.
15. ENSURE POSITIVE DRAINAGE DURING AND AFTER COMPLETION OF CONSTRUCTION.
16. RIPRAP SHALL BE CLEAN, HARD, SOUND, DURABLE, UNIFORM IN QUALITY, AND FREE OF ANY DETRIMENTAL QUANTITY OF SOFT, FRABLE, THIN, ELONGATED OR LAMINATED PIECES, DISINTEGRATED MATERIAL, ORGANIC

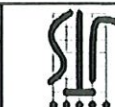
GENERAL NOTES:

1. THE CONTRACTOR MUST VERIFY ALL DIMENSIONS, CONDITIONS AND ELEVATIONS BEFORE STARTING WORK. ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND RECORDED BY THE CONTRACTOR AND SHALL BE RECHECKED BEFORE PROCEEDING WITH THE WORK. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH ACCEPTED CONSTRUCTION PRACTICES.
2. IF THE INTERIOR OF THESE DRAWINGS TO SHOW COMPLETED INSTALLATION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, TIES, FORM WORK, ETC. IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL ORDINANCES, TO SAFELY EXECUTE ALL WORK AND SHALL BE RESPONSIBLE FOR SAME. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL ORDERS.
3. THE CONTRACTOR SHALL USE ADEQUATE NUMBER OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND METHOD NEEDED FOR PROPER PERFORMANCE OF THE WORK.
4. CONSTRUCTION CONTRACTOR AGREES THAT CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL ORDINANCES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONSTRUCTION OPERATIONS SHALL BE CONDUCTED IN A MANNER WHICH DOES NOT INTERFERE WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
5. SITE GRADING SHALL COMPLY WITH TOWER OWNER'S GRADING PLAN. LATEST EDITION. ALL GRADING SHALL BE COMPLETED BEFORE ERECTION OF THE TOWER.
6. ALL WORK SHALL COMPLY WITH OSHA AND STATE SAFETY REQUIREMENTS. PROCEDURES FOR THE PROTECT FOUNDATION INSTALLATION, IF TEMPORARY LIGHTING AND MARKING IS REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION (FAA), IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE NECESSARY LIGHTS AND NOTIFY THE PROPER AUTHORITIES IN THE EVENT OF A PROBLEM.
7. ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL CODES AND ORDINANCES. THE MOST STRINGENT CODE WILL APPLY IN THE CASE OF DISCREPANCIES OR DIFFERENCES IN THE CODE REQUIREMENTS.
8. ANY DAMAGE TO ADJACENT PROPERTIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE NOTICE TO THE BUILDING INSPECTION DEPARTMENT TO SCHEDULE THE REQUIRED INSPECTIONS. A MINIMUM OF 24 HOURS OF NOTICE SHALL BE GIVEN AND THE BUILDING INSPECTION DEPARTMENT HAS REQUESTED THAT GROUPS OF TWO OR THREE SITES BE SCHEDULED AT ONE TIME IF POSSIBLE.
10. CONSTRUCTION MANAGER WILL CONFIRM FAA APPROVAL OF TOWER LOCATION BY ISSUING TOWER RELEASE FORM. NO TOWER SHALL BE CONSTRUCTED UNTIL THE TOWER RELEASE FORM IS ISSUED TO THE CONTRACTOR.
11. THE COMPLETE BID PACKAGE INCLUDES THESE CONSTRUCTION DRAWINGS ALONG WITH THE SPECIFICATIONS AND TOWER DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR REVIEW OF TOTAL BID PACKAGE PRIOR TO BID SUBMITTAL.
12. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES WITHIN CONSTRUCTION LIMITS PRIOR TO CONSTRUCTION.
13. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE ON THE SITE AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY DAMAGE TO ADJACENT PROPERTIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
14. CLEARING OF TREES AND VEGETATION ON THE SITE SHOULD BE HELD TO A MINIMUM. ONLY THE TREES NECESSARY FOR CONSTRUCTION OF THE FACILITIES SHALL BE REMOVED. ANY DAMAGE TO PROPERTY OUTSIDE THE LEASE PROPERTY PROPERTIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
15. ALL SUITABLE BORROW MATERIAL FOR BACK FILL OF THE SITE SHALL BE INCLUDED IN THE BID, EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF-SITE AT LOCATIONS APPROVED BY GOVERNING AGENCIES PRIOR TO DISPOSAL.
16. SEEDING AND MULCHING OF THE SITE SHALL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE SITE DEVELOPMENT. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING AN ADEQUATE COVER OF VEGETATION OVER THE SITE FOR A ONE-YEAR PERIOD.
17. FOR ITEM THAT SHALL BE PROVIDED BY THE OWNER & INSTALLED BY THE CONTRACTOR, REF "OWNER SUPPLIED MATERIAL LIST" INSERTED IN THIS DRAWINGS PACKAGE.
18. OBTAIN AND PAY FOR REQUIRED PERMITS, LICENSES, FEES INSPECTIONS, ETC.
19. RECORD DRAWINGS: MAINTAIN A RECORD OF ALL CHANGES, SUBSTITUTIONS BETWEEN WORK AS SPECIFIED AND INSTALLED, RECORD CHANGES ON A CLEAN SET OF CONTRACT DRAWINGS WHICH SHALL BE TURNED OVER TO THE CONSTRUCTION MANAGER UPON COMPLETION OF THE PROJECT.
20. THE CONTRACTOR SHALL VISIT THE SITE BEFORE BEGING ON THE WORK CONTAINED IN THIS DESIGN PACKAGE.

CA#: AR 1935
PRELIMINARY
DRAWING
 (NOT VALID UNLESS STAMPED AND SIGNED)



CITY OF MADISON
 MADISON ELECTRIC UTILITY
 PROJECT NO. 19-000000
 SHEET NO. 19-000000



DATE	04/10/20
DESCRIPTION	ISSUED FOR CLIENT REVIEW
DR	DL

GENERAL NOTES
 BASTROP

DATE	04/10/20
DESCRIPTION	ISSUED FOR CLIENT REVIEW
DR	DL

ABBREVIATIONS:	DESCRIPTION:
AFF	ABOVE FINISHED FLOOR
AGL	ABOVE GROUND LEVEL
ASL	ABOVE MEAN SEA LEVEL
APPROX.	APPROXIMATELY
AWG	AMERICAN WIRE GAUGE
BBLG	BUILDING
BTS	BASE TRANSMISSION STATION
BRU	BASE BAND UNIT
CLR	CLARENCE
COL	COLUMN
CONC.	CONCRETE
CONDUIT	CONDUIT
CTR	CENTER
DWG	DRAWING
DWN	DOWN
ELEC	ELECTRICAL
EXT	ELECTRICAL METALLIC TUBING
ELV	ELEVATION
EQUIP	EQUIPMENT
EXT	EXISTING
FIB	FIBER
' OR FT.	' OR FT.
F.L.R.	FLOOR
FUT.	FUTURE
GA	GAUGE
CALV	CALVANEZED
GB	GROUND BAR
GND	GROUND
GPS	GLOBAL POSITIONING SYSTEM
GW	GROUND WIRE
- OR IN	- OR IN INCHES
INT	INTERIOR
LBS	POUNDS
LTE	LONG TERM EVOLUTION
MAX	MAXIMUM
MFR	MANUFACTURER
MEB	MASTER GROUND BAR
MIN	MINIMUM
N/A	NOT APPLICABLE
(N) OR NEW	NEW
O.C.	ON CENTER
OE	OVERHEAD ELECTRIC
OT	OVERHEAD TELCO
PPC	POWER PROTECTION CABINET
PWR	POWER
RBS	RADIO BASE STATION
REF	REFERENCE
RRU	REMOTE RADIO UNIT
RSU	RIGID GALVANIZED STEEL
SF	SQUARE FOOT
STD	STANDARD
STL	STEEL
TYP.	TYPICAL
UE	UNDERGROUND ELECTRIC
UT	UNDERGROUND TELCO
UNO	UNLESS OTHERWISE NOTED
VALF	VERIFY IN FIELD
XMR	TRANSFORMER

SITE CLEARANCE NOTE:
 CONTRACTOR SHALL CLEAR LEASE AREA OF ALL TREES, SHRUBS, ROCKS, SURFACE SOIL AND DEBRIS, EXCAVATE INTO SLOPES AND/OR ADD FILL DIRT WITH REQUIRED COMPACTION TO EXIST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.

AS-BUILT NOTE:
 THE ELECTRICAL CONTRACTOR, UPON COMPLETION OF HIS WORK, SHALL PROVIDE AS-BUILT DRAWINGS TO THE GENERAL CONTRACTOR FOR INCLUSION IN FINAL AS-BUILT SURVEY DOCUMENTS TO BE GIVEN TO JTS WIRELESS.

GAS NOTES:
 1. GAS PRESSURE MUST TEST BETWEEN 4 AND 13.9 INCHES OF H2O WHILE ALL UNDER FULL DEMAND.
 2. BLACK IRON PIPE SHALL CONFORM TO ASTM A53.
 3. ALL PIPING SHALL BE INSPECTED & TESTED PURSUANT TO SEC 406 INTERNATIONAL FUEL & GAS CODE.
 4. DRIP LEGS ARE REQUIRED FOR THIS PROJECT.
 5. PRIOR TO CONSTRUCTION, EXISTING PIPING SHALL BE CHECKED TO DETERMINE IF IT HAS PROPER CAPACITY FOR ALL APPLIANCES SERVED. THE EXISTING SYSTEM SHALL BE ENLARGED IF REQUIRED.
 6. CHANGES IN DIRECTION SHALL BE MADE BY FACTORY FITTINGS.
 7. DESIGN & CONSTRUCTION TO CONFORM TO INTERNATIONAL FUEL & GAS CODE.

CONCRETE PAD NOTES:
 1. ALL CONCRETE TO HAVE A COMPRESSIVE STRENGTH OF 4-3000 PSI WITH COMMERCIAL CRACK FIBER MESH REINFORCEMENT 1.5# PER CU. YARD
 2. CONCRETE PAD IS DESIGNED TO BEAR ON 2000 PSF SOIL BEARING CAPACITY TO BE VERIFIED AT TIME OF EXCAVATION BY A SOILS ENGINEER REGISTERED IN THE STATE OF VERMONT.



CONDUIT NOTE:
 1. ALL CONDUITS SHALL BE SECURED TO THE TOP OF THE CONCRETE SLAB WITH RIGID CUPS SIZED PER NEED (TYP)

DRAWING SCALE NOTE:
 1. THESE DRAWINGS ARE SCALED TO FULL SIZE AT 20'x34" AND HALF SIZE AT 11'x17". CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE DESIGNER / ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR MATERIAL ORDERS OR BE RESPONSIBLE FOR THE SAME. CONTRACTOR SHALL FOLLOW BEST MANAGEMENT PRACTICE TO PREVENT STORM WATER POLLUTION DURING CONSTRUCTION.

GENERAL NOTES
 1. ALL SITE WORK SHALL BE AS INDICATED ON THE DRAWINGS.
 2. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, LAWS AND REGULATIONS OF ALL MUNICIPALITIES, UTILITIES COMPANY OR OTHER PUBLIC AUTHORITIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.
 4. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER, IN WRITING, OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF BIDS OR PERFORMANCE OF WORK. MINOR OMISSIONS OR ERRORS IN THE BID DOCUMENTS SHALL NOT BE THE CONTRACTOR'S RESPONSIBILITY FOR THE OVERALL INTENT OF THESE DRAWINGS.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SITE IMPROVEMENTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED AS A RESULT OF CONSTRUCTION OF THIS FACILITY.
 6. THE SCOPE OF WORK FOR THIS PROJECT SHALL INCLUDE PROVIDING ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED TO COMPLETE THE WORK. THE CONTRACTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 7. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING A BID TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 8. CONTRACTOR SHALL MAKE A UTILITY "ONE CALL" TO LOCATE ALL UTILITIES AND NOTIFY UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION AT 811 PRIOR TO EXCAVATION AT SITE.
 9. ANY UNDERGROUND UTILITIES OR STRUCTURES THAT EXIST BENEATH THE PROJECT AREA, CONTRACTOR MUST LOCATE IT AND CONTACT THE APPLICANT & THE OWNER'S REPRESENTATIVE.
 10. NO SIGNIFICANT NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
 11. THE FACILITY IS UNMANNED AND NOT INTENDED FOR HUMAN HABITATION (NO HANDICAP ACCESS REQUIRED).
 12. THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
 13. POWER TO THE FACILITY WILL BE MONITORED BY A SEPARATE METER.
 14. THERE ARE NO COMMERCIAL SIGNS PROPOSED FOR THIS INSTALLATION.
 15. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND, FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
 16. THE SUBGRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
 17. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED BY THE CONTRACTOR SHALL BE PROTECTED BY THE CONTRACTOR WHEN EXCAVATING OR PIER DRILLING AROUND OR NEAR UTILITIES.
 18. THE AREAS DISTURBED DUE TO CONSTRUCTION ACTIVITY SHALL BE GRADED AND RESTORED PER CODE/LANDLORD REQUIREMENTS (REFER TO GRADING PLAN).
 19. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. CONTRACTOR SHALL MAINTAIN EROSION CONTROL AND COORDINATED WITH THE MUNICIPALITY FOR EROSION AND SEDIMENT CONTROL.
 20. UTILITY WARNING TAPE SHALL BE PLACED ABOVE ALL NEW CONDUITS AT MAX 18" DEPTH BELOW GROUND.
 21. THE CONTRACTOR RESPONSIBILITIES:
 a. ALL WORK IN THE JTS LEASED AREA, EXCEPT POWER AND TELCO CONDUIT FROM MULTI-SPAN METER RACK AND TELCO DEWARS WHICH SHALL BE INSTALLED BY BUILD-TO-SUIT VENDOR.
 b. INSTALLATION OF WAVEGUIDE SUPPORT FROM JTS LEASED AREA TO TOWER BASE.
 c. LOCATION OF TOWER LINES FROM JTS GROUND EQUIPMENT TO ANTENNA MOUNT.
 d. JTS ANTENNAS, RAILS AND APPURTENANCE JTS EQUIPMENT ON ANTENNA MOUNTING PLATFORM AT RAG CENTER, IN ACCORDANCE WITH JTS RFS.
 e. CONSTRUCTION OF ALL NEW UTILITY UNDERGROUND TOWER, TOWER RISER, OAD & CONDUIT, GROUNDING AND OTHER ACTIVITIES.

CA#: AR 1935
PRELIMINARY
DRAWING
 (NOT VALID UNLESS
 STAMPED AND SIGNED)

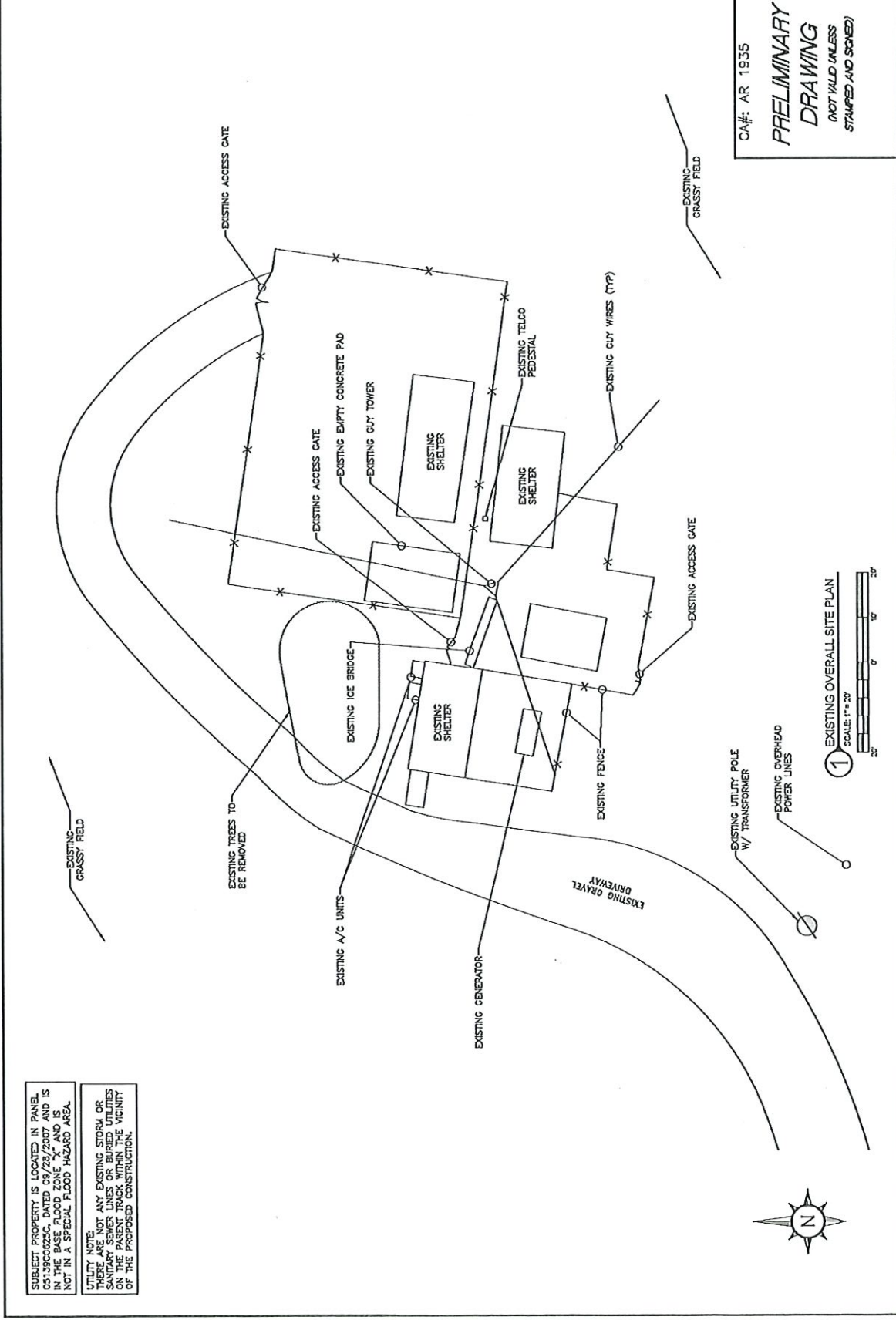
GN-2 0

 SITE COORDINATOR JAMES W. SMITH (407) 277-3434	 JTS JAMES T. SMITH (407) 277-3434	DATE	09/18/20	DESCRIPTION	ISSUED FOR CLIENT REVIEW	DU
		OSR				


BASTROP
EXISTING OVERALL
SITE PLAN

DESIGNED BY	JCS
DRAWN BY	JCS
CHECKED BY	JCS
DATE	09/18/20
SHEET NO.	C-1
TOTAL SHEETS	0

CA#: AR 1535
**PRELIMINARY
 DRAWING**
 (NOT VALID UNLESS
 STAMPED AND SIGNED)





1 EXISTING OVERALL SITE PLAN
 SCALE: 1" = 20'



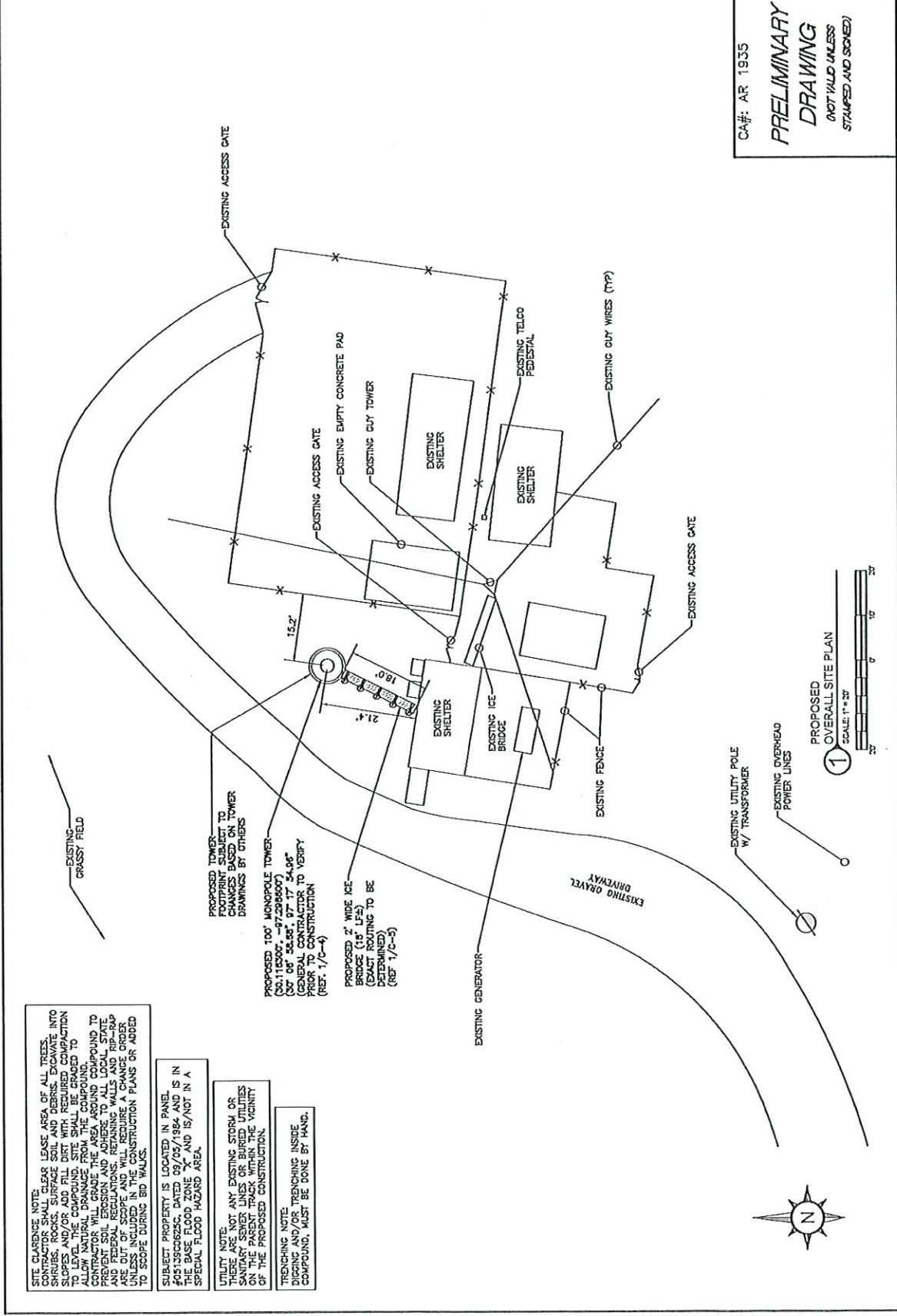
SUBJECT PROPERTY IS LOCATED IN PANEL
 0513200222C, DATED 09/28/2007 AND IS
 IN THE BASE FLOOD ZONE "X" AND IS
 NOT IN A SPECIAL FLOOD HAZARD AREA.

UTILITY NOTE:
 THERE ARE NOT ANY EXISTING STORM OR
 SANITARY SEWER LINES OR BURIED UTILITIES
 ON THE PARENT TRACT WITHIN THE VICINITY
 OF THE PROPOSED CONSTRUCTION.

	DATE	06/18/20	ISSUED FOR CURR REVIEW	DATE	06/18/20	ISSUED FOR CURR REVIEW
	DESCRIPTION			DATE	06/18/20	ISSUED FOR CURR REVIEW
	SITE COORDINATES	UTM	3811007	E	540711	N
	DATE	09/17/2007				
	PROJECT NO.	17-25507				
	PROJECT NAME	BASTRAP				
	SHEET NO.	C-2				
	TOTAL SHEETS	0				

PROPOSED OVERALL SITE PLAN

CA#: AR 1935
PRELIMINARY DRAWING
 (NOT VALID UNLESS STAMPED AND SIGNED)



SITE CLEARANCE NOTE:
 CONTRACTOR SHALL CLEAR LEASE AREA OF ALL TREES, SHRUBS, ROCKS, SURFACE SOIL AND DEBRIS. EXCAVATE INTO SLOPES AND/OR ADD FILL DIRT WITH REQUIRED COMPACTION TO LEVEL THE COMPOUND. SITE SHALL BE GRADED TO ALLOW WATER TO DRAIN TO THE MAIN DRAINAGE DITCH. CONTRACTOR WILL GRADE THE MAIN DRAINAGE DITCH TO PREVENT SOIL EROSION AND ADHERE TO ALL LOCAL STATE AND FEDERAL REGULATIONS. RETAINING WALLS AND RIP-RAP ARE OUT OF SCOPE AND WILL REQUIRE A CHANGE ORDER IN THE CONSTRUCTION PLANS OR ADD TO SCOPE DURING BID WALKS.

SUBJECT PROPERTY IS LOCATED IN PANEL #051390625C, DATED 09/05/1984 AND IS IN THE BASE FLOOD ZONE "X" AND IS/NOT IN A SPECIAL FLOOD HAZARD AREA.

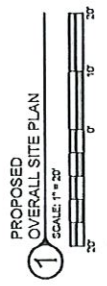
UTILITY NOTE:
 THERE ARE NOT ANY EXISTING STAKES AS SHOWN ON THE PARENT TRACK WITHIN THE VICINITY OF THE PROPOSED CONSTRUCTION.

TRENCHING NOTE:
 DIGGING AND/OR TRENCHING INSIDE COMPOUND, MUST BE DONE BY HAND.

PROPOSED TOWER FOOTPRINT SUBJECT TO APPROVED ARCHITECTURAL DRAWINGS BY OTHERS

PROPOSED 100' MONOPOLE TOWER
 (201115207, 97 2018600)
 (207 08 58.98", 97 17 54.98")
 (GENERAL CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION (REF: 1/C-4))

PROPOSED 2' WIDE ICE BRIDGE (18" LF±)
 (EXACT ROUTING TO BE DETERMINED) (REF: 1/C-5)

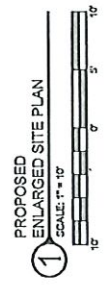
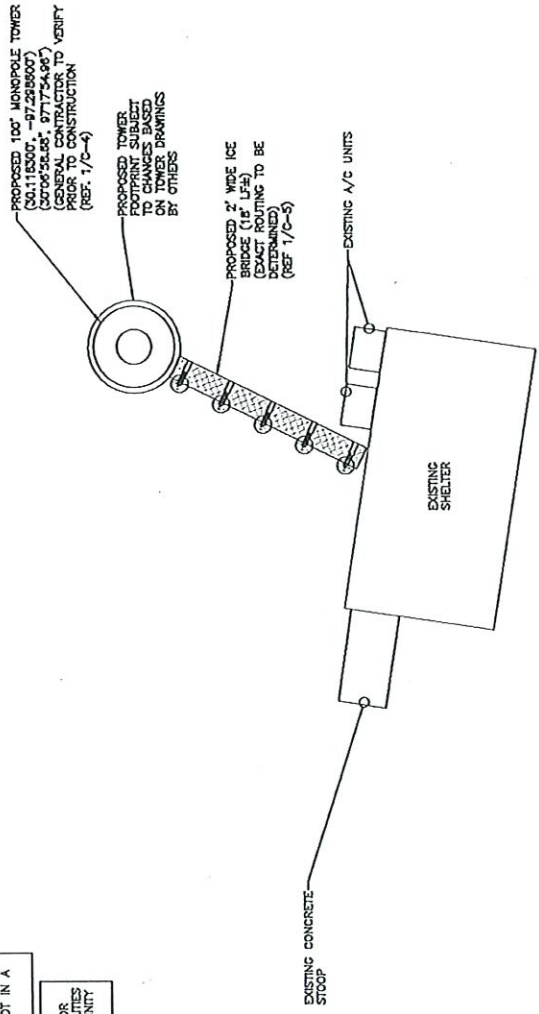


SITE CLEARANCE NOTE:
 CONTRACTOR SHALL CLEAR LEASE AREA OF ALL TREES, SHRUBS, ROCKS, SURFACE SOIL AND DEBRIS. EXCAVATE INTO SLOPES AND/OR ADD FILL DIRT WITH REQUIRED COMPACTION TO LEVEL THE GROUND. SITE SHALL BE GRADUALLY TO PREVENT SOIL EROSION. CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT SOIL EROSION AND ADHERE TO ALL LOCAL, STATE AND FEDERAL REGULATIONS. RETAINING WALLS AND RIP-RAP ARE NOT TO BE SHOWN. THE CONTRACTOR SHALL ORDER UTILITY LOCATIONS AND THE CONSTRUCTION PLANS OR ADD TO SCOPE DURING BID WALKS.

SUBJECT PROPERTY IS LOCATED IN PANEL:
 #05139C0625C, DATED 09/05/1984 AND IS IN THE BASE FLOOD ZONE "X" AND IS/NOT IN A SPECIAL FLOOD HAZARD AREA.

UTILITY NOTE:
 DO NOT ANY EXISTING STORM OR SANITARY SEWER LINES OR BURIED UTILITIES ON THE PARENT TRACK WITHIN THE VICINITY OF THE PROPOSED CONSTRUCTION.

TRENCHING NOTE:
 TRENCHING INSIDE COMPOUND MUST BE DONE BY HAND.



CA#: AR 1935
**PRELIMINARY
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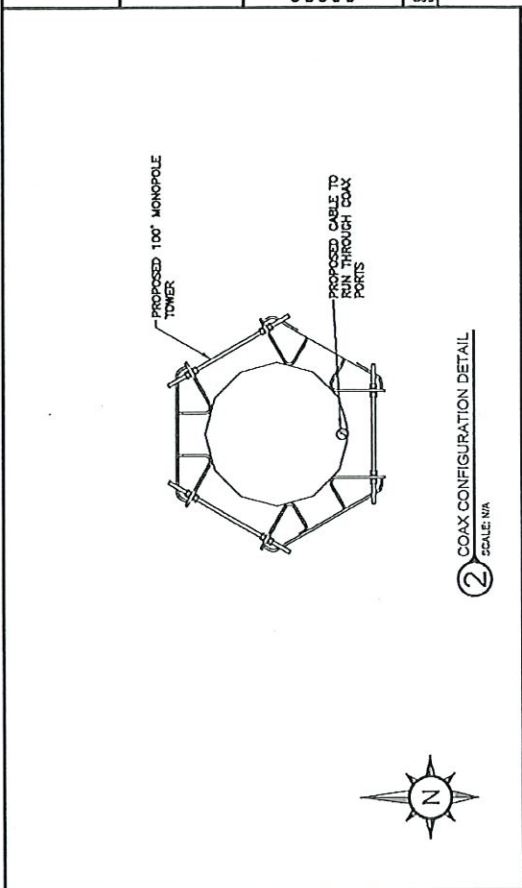
DATE	DESCRIPTION	ISSUED FOR	REVISION
08/18/20	ISSUED FOR CLIENT REVIEW	DAI	
		DSR	

BASTROP
 PROPOSED ENLARGED
 SITE PLAN

DESIGNED BY	REVISION	DATE
JCS		
DESIGNED BY	JCS	
DATE	09/18/20	
SHEET NO.	C-3	0

JCS
 JAMES C. SMITH
 CIVIL ENGINEER
 LICENSE NO. 1183001
 (EXPIRES 09/05/2024)

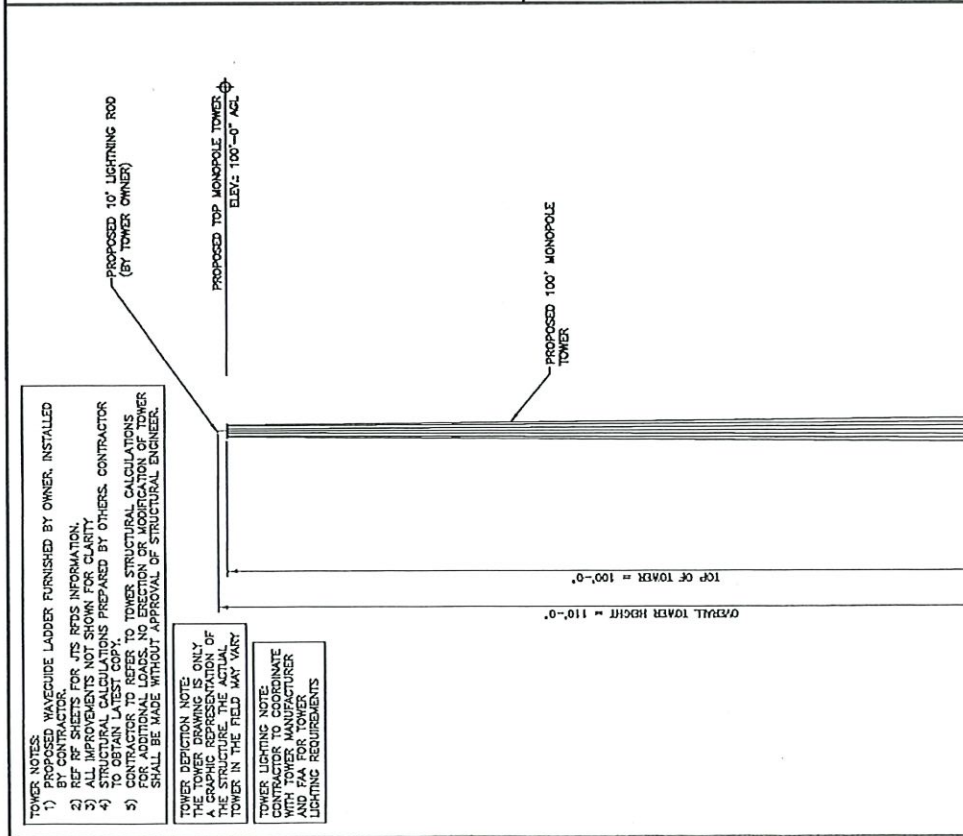
SMW
 SMITH, MURPHY & WATSON
 ENGINEERS & ARCHITECTS
 1000 PINE BLVD., SUITE 100
 BASTROP, LA 70026
 (504) 337-1717



THIS SECTION WAS INTENTIONALLY LEFT BLANK

③ NOT USED
 SCALE: N/A

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STRUCTURAL ANALYSIS TO BE PROVIDED AT LATER DATE
 NO MAPPING OR ANALYSIS HAS BEEN PROVIDED FOR THIS PROJECT, AND STRUCTURAL INTEGRITY OF ACQUANTS UNDER NEW LOADING IS UNDETERMINED

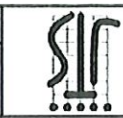
TOWER NOTES:
 1) PROPOSED WAVEGUIDE LADDER FURNISHED BY OWNER. INSTALLED BY CONTRACTOR.
 2) REF. SHEETS FOR JTS RFDS INFORMATION.
 3) ALL IMPROVEMENTS NOT SHOWN FOR CLARITY.
 4) STRUCTURAL CALCULATIONS PREPARED BY OTHERS. CONTRACTOR TO REFER TO TOWER STRUCTURAL CALCULATIONS FOR ADDITIONAL LOADS. NO ERECTION OR MODIFICATION OF TOWER SHALL BE MADE WITHOUT APPROVAL OF STRUCTURAL ENGINEER.

TOWER IDENTIFICATION NOTE:
 THIS DRAWING IS A GRAPHIC REPRESENTATION OF THE STRUCTURE. THE ACTUAL TOWER IN THE FIELD MAY VARY.

TOWER LIGHTING NOTE:
 CONTRACTOR MUST CONSULT WITH TOWER MANUFACTURER AND FMA FOR TOWER LIGHTING REQUIREMENTS.



JTS ENGINEERING
 1000 S. 10th Street
 Suite 100
 Phoenix, AZ 85001
 (602) 254-1111



DATE	08/18/20	DESCRIPTION	ISSUED FOR CLIENT REVIEW
DATE		DESCRIPTION	
DATE		DESCRIPTION	
DATE		DESCRIPTION	

BASTROP
 PROPOSED COMPOUND
 GROUNDING PLAN
 SHEET NO. G-1 0
 DRAWN BY: JCS
 CHECKED BY: JCS
 DATE: 08/18/20
 PROJECT: BASTROP

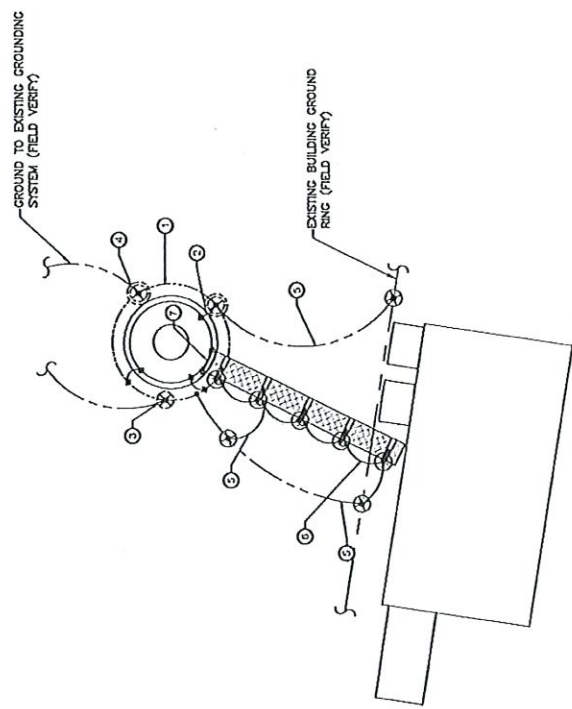
- GROUNDING KEYED NOTES:
- ① 4/0 19 STRANDED TINNED BASE COPPER GROUND RING BURIED 30" BELOW GRADE (TYP)
 - ② BOND TOWER BASE PLATE TO TOWER GROUND RING PER TOWER OWNER SPECIFICATIONS
 - ③ PROPOSED GROUND ROD (TYP)
 - ④ PROPOSED GROUND ROD WITH INSPECTION WELL
 - ⑤ 4/0 COPPER GROUND WIRE TO TOWER GROUND RING (TYP X2)
 - ⑥ 4/0 TINNED COPPER WIRE GROUND FROM ICE BRIDGE POST TO CLOSEST GROUND RING (TYP)
 - ⑦ PROPOSED TOWER BUSS BAR

GROUNDING SYMBOLS LEGEND

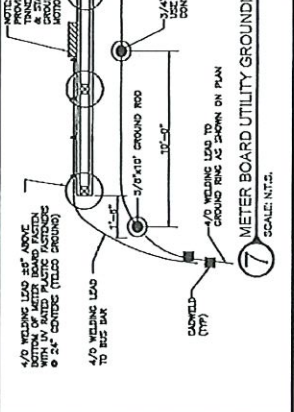
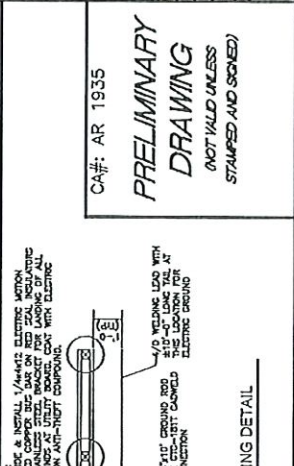
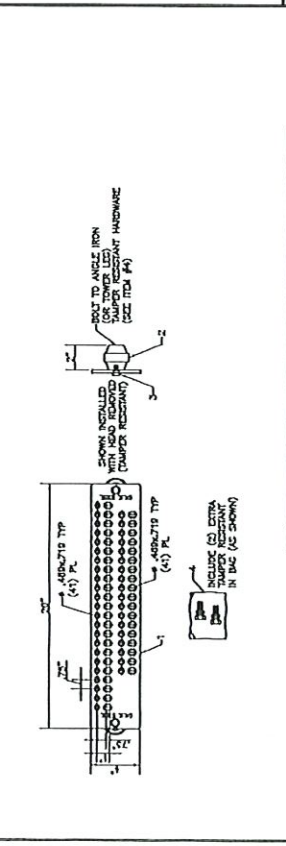
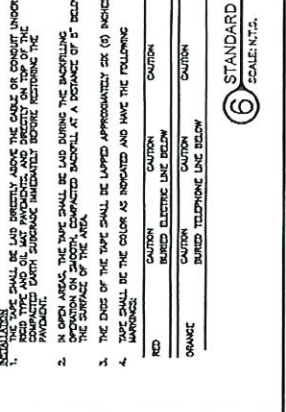
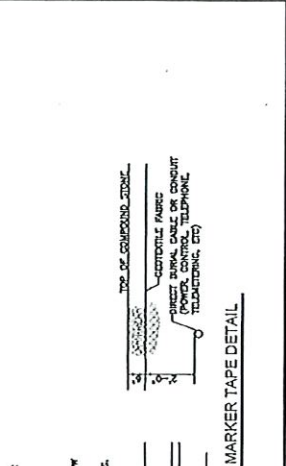
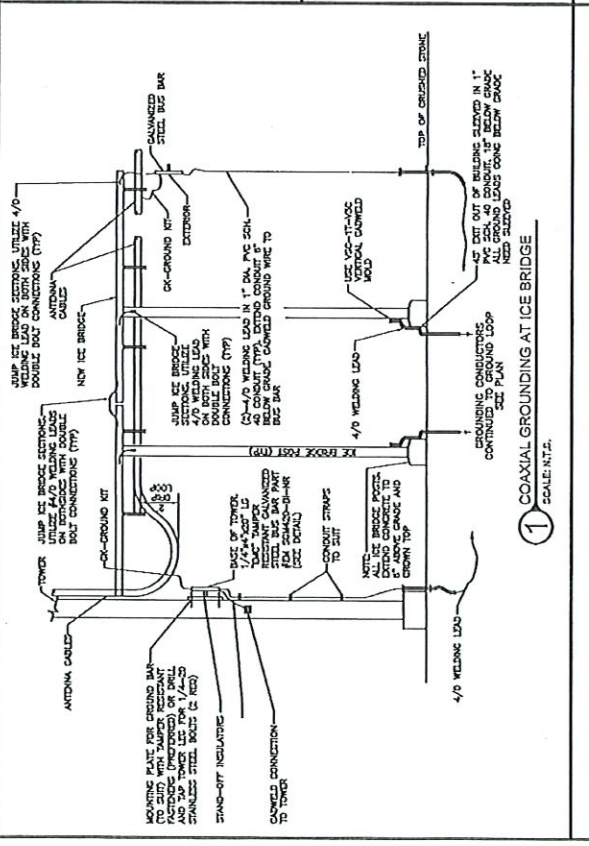
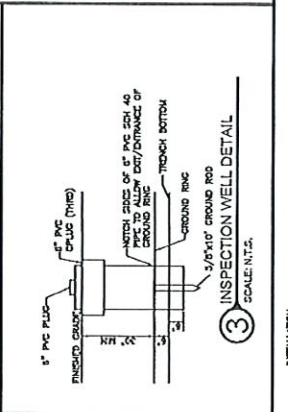
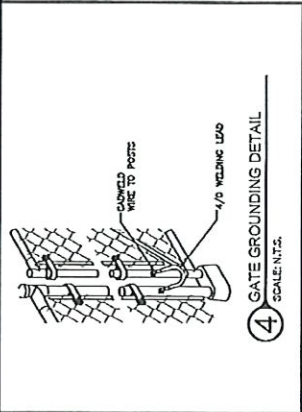
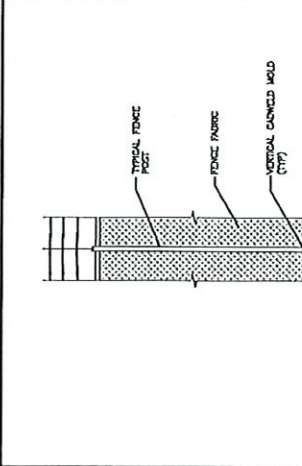
- ⊗ GROUND ROD WITH ACCESS
- ⊗ GROUND ROD
- ⊙ EXOTHERMIC CONNECTION
- ◇ MECHANICAL CONNECTION
- △ COMPRESSION CONNECTION
- GROUND BAR
- GROUND WIRE

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R-35 GROUNDING NOTE: THIS DRAWING IS FOR INFORMATION ONLY. ALL GROUNDING EQUIPMENT TO BE INSTALLED IN ACCORDANCE WITH THE GROUNDING STANDARDS AND BEST PRACTICES.



PROPOSED COMPOUND
 1 GROUNDING PLAN
 SCALE: 1" = 10'



CA# AR 1935
PRELIMINARY DRAWING
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